



Single Family Residential Development Standards

Estate Residential and Low Density Residential Zones

SINGLE FAMILY RESIDENCES

Most single family homes in Laguna Hills are in one of two zones: Estate Residential (ER) or Low Density Residential (LDR). These areas are characterized by detached homes with relatively large setbacks in low density neighborhoods. Please contact a planner to verify the zoning for your property.

The information contained within this handout is a summary of development standards that apply to the ER and LDR zones. Please refer to the Laguna Hills Municipal Code (LHMC), which is available on the City's website, for additional standards that may apply to your project. The development standards for the ER and LDR zones can be found in **LHMC 9-12** and **LHMC 9-14**, respectively. Prior to beginning a design for your project, it is recommended that you contact the City's Planning Department to discuss your project.

Planning Department

(949) 707-2672

www.lagunahillscs.gov

City of Laguna Hills
24035 El Toro Road
Laguna Hills, CA 92653

Planning Counter Hours

Monday - Thursday: 1:00 PM - 5:30 PM

Friday: 1:00 PM - 5:00 PM

Other departments may have additional requirements. Please contact the following departments to determine any requirements they may have:

Building and Safety—(949) 707-2627

Public Services—(949) 707-2650

Development Standards	ER	LDR
Lot Size—Minimum*	10,000 square feet	7,200 square feet
Lot Width—Minimum*	80 feet	60 feet
Lot Depth—Minimum*	100 feet	80 feet
Lot Coverage—Maximum	35%	35%
F.A.R.—Maximum	N/A	0.55
Height—Maximum	35 feet	35 feet
Setbacks		
Front	20 feet	20 feet
Interior Side	8 feet	5 feet
Street Side	10 feet	10 feet
Rear	25 feet	20 feet
Building Separation—Minimum	2.5 feet	2.5 feet
*Standard applies only to newly created lots or changes to lot lines.		

Please note that development standards for non-standard lots (such as flag lots, gore-shaped lots, and through lots) may vary. Please check with a planner if you have a uniquely-shaped lot or another special circumstance that may affect your setbacks or other development standards.

Lot Coverage is the percentage of the total lot size covered by solid-roof structures

F.A.R. (floor area ratio) is the ratio of floor area (within an enclosed structure) to the total lot area.

LANDSCAPING

Maintained landscaping is required, especially in front and street side yards visible from the street. All such areas must be landscaped except those used for a lawful driveway and pedestrian walkway. While the City does not regulate the type of landscaping, it must consist of live, vegetative material and must be maintained in a live, healthy, and weed free condition. Projects with over 5,000 square feet of new landscape or landscape remodel must meet landscaping and water efficiency standards found in LHMC 9-46 and LHMC 9-47.

LIGHTING

All exterior lighting on residential properties, including lighting associated with game courts should be installed keeping in mind consideration of neighbors. Specifically, lighting shall not produce glare or spill-over onto adjacent properties. See LHMC 9-40.170.

GRADING

Projects that involve grading may involve grading permits from the Public Services Department. Please contact Public Services to determine any submittal requirements. If your project requires grading permits, they must be obtained prior to building plan check submittal.

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ENCROACHMENTS

Encroachments into setbacks are permitted pursuant to **LHMC 9-40.150**. Examples of permitted encroachments are for chimneys, eaves, some mechanical equipment, and certain accessory structures. The amount of encroachment permitted varies depending on the structure. The table below lists several common encroachments. See the LHMC for all permitted encroachments.

	Max Projection into FRONT Setback	Max Projection into REAR setback	Max Projection into SIDE Setback	Min Distance from Property Line
Architectural projections: eaves, cornices, and roof overhangs	2 feet 6 inches	2 feet 6 inches	2 feet 6 inches	3 feet
Stairways and landings	2 feet 6 inches	2 feet 6 inches	2 feet 6 inches	5 feet
Bay windows	2 feet 6 inches	2 feet 6 inches	2 feet 6 inches	3 feet
Chimneys	2 feet	2 feet	2 feet	3 feet
HVAC, mechanical equipment, window A/C	Not permitted	3 feet	2 feet 6 inches	2 feet

PARKING

Each parking space shall be a minimum 10 feet wide by 20 feet deep. Therefore a 2-car garage should have an interior clearance of at least 20 feet x 20 feet. If you would like to change your driveway approach, please remember to contact the Public Services Department for an encroachment permit prior to beginning your project.

	Parking Required
Single Family Home: 5 bedrooms or less	2-car garage
Single Family Home: 6-7 bedrooms	2-car garage + 1 covered space
Single Family Home: 8-9 bedrooms	2-car garage + 2 covered spaces
Accessory Living Quarters/ Second Unit Development	1 space (unless exempt)

WALLS & FENCES

Walls and fences can be built up to the property line, as shown on the diagram to the right.

- Within the front yard setback, solid fences or walls are permitted up to 42 inches or open fences (such as wrought iron with pilasters) up to 6 feet.
- In rear and side yards, solid or open fences and walls are permitted up to 6 feet.
- Retaining walls have different standards and height limits. Please contact a planner or consult the **LHMC 9-40.100** for retaining wall standards.
- Most walls and fences do not require building permits (any walls or fences that require an engineered foundation, such as retaining walls and pilasters, DO require building permits). Any work within the public right of way (ROW) requires an encroachment from Public Services.

